



**Planning Commission Study Session**

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**THROUGH:** EVA CUTRO, AICP, PLANNING MANAGER *EC*  
(480) 503-6782, EVA.CUTRO@GILBERTAZ.GOV

**MEETING DATE:** AUGUST 5, 2020

**SUBJECT:** DR20-84, AIR GUITAR

**STRATEGIC INITIATIVE:** Exceptional Built Environment

This project will allow for the development of a new market concept for a high-end neighborhood market.

**REQUEST**

DR20-84, Air Guitar: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.37 acres, generally located at the northwest corner of Higley and Ray Roads, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

**RECOMMENDED MOTION**

Request for input only. No motion required.

**APPLICANT**

Company: Debartolo Architects  
 Name: Jeff Kershaw  
 Address: 1334 E. Van Buren St  
 Phoenix, AZ 85006  
 Phone: 602-264-6617  
 Email: jeff@debartoloarchitects.com

**OWNER**

Company: AGRE LLC  
 Name: Craig DeMarco  
 Address: 5120 E. Arcadia Ln  
 Phoenix, AZ 85018  
 Phone: 602-881-2256  
 Email: craig@demarcounlimited.com

**BACKGROUND/DISCUSSION****History**

<b>Date</b>	<b>Description</b>
<i>September 19, 2000</i>	Town Council approved Ordinance No. 1304 (A00-01) annexing 161.65 acres into the Town of Gilbert
<i>September 19, 2000</i>	Town Council approved Ordinance No. 1305 (Z00-01) rezoning approximately 175.15 acres for the Agritopia Planned Area Development
<i>December 9, 2004</i>	The Design Review Board approved DR04-114 approving the Agritopia Commercial Design Guidelines
<i>June 12, 2008</i>	The Design Review Board approved DR07-139 the final site plan for MidFirst Bank

**Overview**

The subject site is approximately 1.37 acres, presently vacant, and located within the Agritopia Planned Area Development. The site is located at the northwest hard corner of Higley and Ray. The applicant is proposing a new 5,300 sf high-end neighborhood market.

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	General Commercial	General Commercial (GC)/PAD	Agritopia Epicenter
South	Shopping Center	Shopping Center (SC)/PAD	Ray Rd., then gas station
East	Shopping Center	Shopping Center (SC)/PAD	Higley Rd., then Higley Park commercial center
West	General Commercial	General Commercial (GC)/PAD	Agritopia Epicenter
Site	Shopping Center	Shopping Center (SC)/PAD	vacant

**Project Data Table**

<b>Site Development Regulations</b>	<b>Required per Ord 1305 and LDC</b>	<b>Proposed</b>
Maximum Building Height (ft.)/(Stories)	30'/2	16'-5"
Minimum Building Setback (ft.)		
Adjacent to Arterial	20'	20'

Adjacent to Arterial Intersection	35'	35'
Adjacent to Commercial	0'	0'
Minimum Required Perimeter Landscape Area (ft.)		
Adjacent to Arterial	20'	20'
Adjacent to Arterial Intersection	25' x 250'	25' x 250'
Adjacent to Commercial	0'	0'
Landscaping (% of net lot area)	15%	49%
Off-Street Parking and Loading	1:250sf (5300/250=21)	32

## **DISCUSSION**

The project is currently in second review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

### **Site**

The site includes one building and is 5,300 sf located at the hard corner of Higley and Ray Roads. Primary vehicular access is provided via shared driveways with the Agritopia Epicenter project that is currently under construction on both Higley and Ray Roads. Both drives provide right-in, right-out access only.

The proposed site is designed with outdoor alcove seating between the building and the parking lot as well as patio seating at the southeast corner of the building. Connectivity to the Epicenter site is delineated by the use of exposed aggregate concrete paving through the parking lot and connecting to sidewalks on both the Air Guitar site and Epicenter.

### **Landscape**

The site is required to have 15 percent of the net site area landscaped; the site is well landscaped with a total of 49% of landscape coverage. The applicant is proposing that the street frontage landscaping be comprised solely of Red Push Pistache trees and Deer Grass accents. As part of first review comments staff requested that the applicant provide greater diversity in the plant palette. In response the applicant has indicated they are proposing to develop a mono-culture of landscaping with a singular tree and accent along the street. Commission feedback is appreciated on diversity of landscaping.

### **Grading and Drainage**

Retention is proposed through the use of an above ground retention basin within the street frontage landscape area. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

### **Elevations, Floor Plan, Colors and Materials**

The proposed building draws inspiration from the Agritopia PAD which references midcentury architecture while still offering a contemporary aesthetic. Extensive roof overhangs provided on all sides of the building provide abundant shade over large expanses of glass.

Primary building materials include alternating colors of standing seam metal on the east and west elevations with glazing accents. The north and south elevations are predominantly glass. Wood slats are utilized at the patio area and provide a more natural material. During first review staff asked the applicant to consider adjustments to the color palette either by using a lighter field color or increasing the use of the accent color. The color palette as proposed is quite dark compared to Epicenter and shade from the roof overhangs will make the building appear even darker.

### **Lighting**

There are four lighting types proposed, parking lot, wall mounted, surface mounted and tape lighting. The parking lot lights are proposed at a height of 25'. All site lighting will be required to comply with Town codes.

### **Signage**

Signage is not included in this submittal. Administrative Design Review approval is required for monument signage prior to permitting.

The applicant has requested construction document at-risk. Staff would only support cd at-risk if the applicant is able to address all 2<sup>nd</sup> review comments prior to cd submittal.

## **PUBLIC NOTIFICATION AND INPUT**

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

### **REQUESTED INPUT**

1. Diversity of landscape palette
2. Overall architecture of the building, specifically color palette

Respectfully submitted,



Ashlee MacDonald, AICP  
Principal Planner

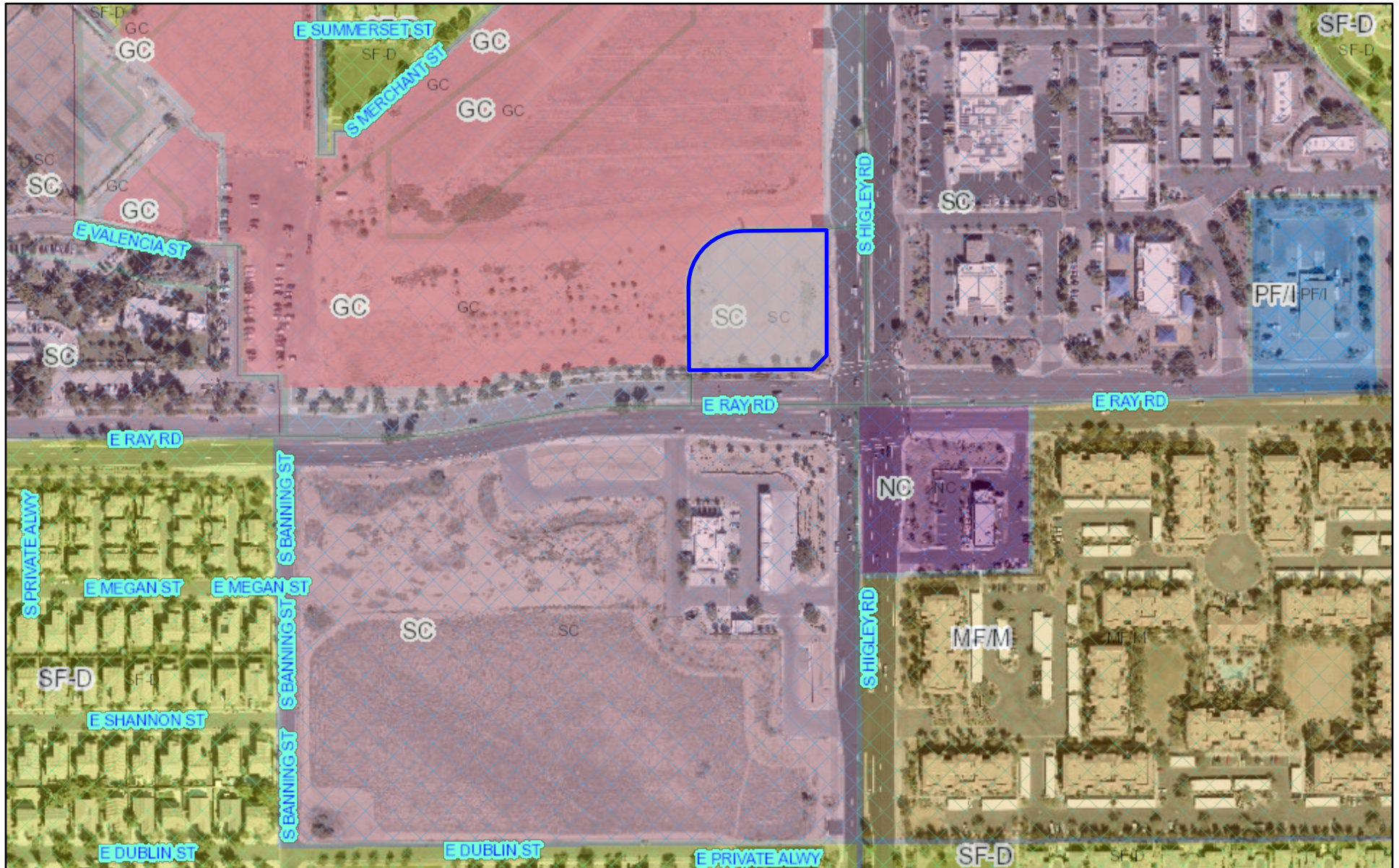
### **Attachments and Enclosures:**

- 1) Aerial Photo
- 2) Site Plan
- 3) Landscape
- 4) Elevations
- 5) Colors and Materials
- 6) Floor Plans
- 7) Lighting
- 8) Applicant's Narrative

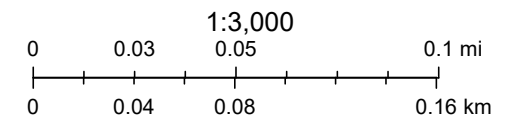


# DR20-84 Air Guitar

## DR20-84: Air Guitar Attachment 1 - Aerial Photo



July 30, 2020





DR20-84: Air Guitar  
Attachment 2 - Site Plan

PROJECT INFORMATION

PROJECT ADDRESS:  
1566 SOUTH HIGLEY ROAD  
GILBERT, ARIZONA 85296

OWNER:  
AG VENTURES HOLDINGS LLC  
5120 EAST ARCADIA LANE  
PHOENIX, ARIZONA 85018

ARCHITECT:  
DEBARTOLO ARCHITECTS, LTD.  
1336 EAST VAN BUREN STREET  
PHOENIX, ARIZONA 85006

APN: 304-27-016P

PROJECT DATA

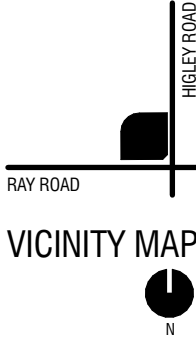
NET SITE AREA: 60,000 SF [1.37 ACRES]  
ZONING: SC [AGRITOPA C-2 PAD]  
LOT COVERAGE: 15%  
LANDSCAPE AREA: 32,680 SF  
LANDSCAPE %: 54%

PARKING CALCULATIONS

BUILDING FLOOR AREA TOTAL: 5,300 SF

PARKING REQUIREMENT: 1 SPACE PER 250 SF  
PARKING SPACES REQ: 21  
PARKING SPACES PROV: 32 VEHICLE [INC 2 ADA]  
4 SCOOTER

BICYCLE PARKING  
SPACES REQUIRED: 4  
SPACES PROVIDED: 6



VICINITY MAP

AG

AIR GUITAR  
1566 SOUTH HIGLEY ROAD  
GILBERT, ARIZONA 85234

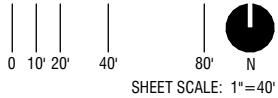
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EXPIRES 31 MAR 2023



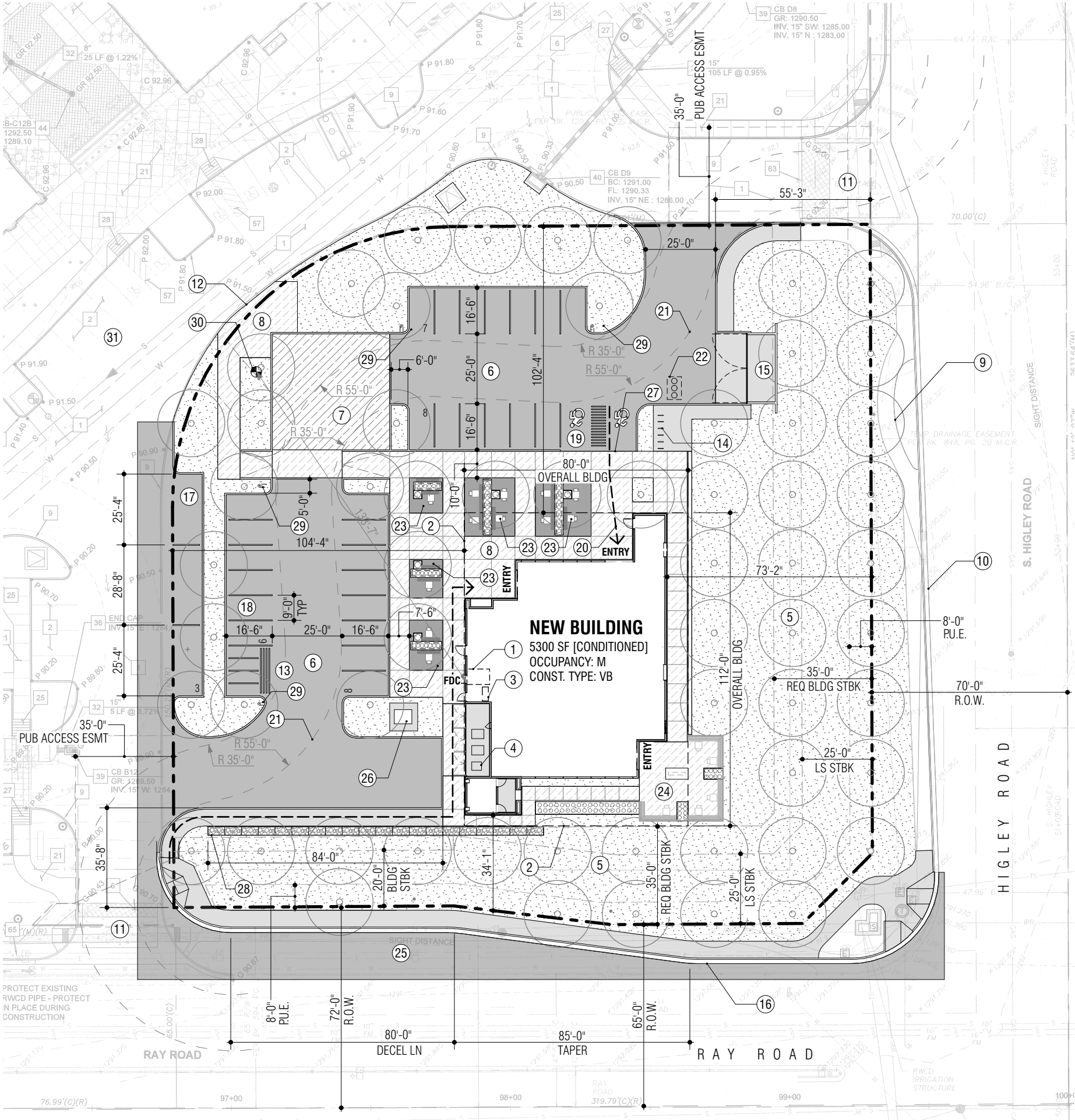
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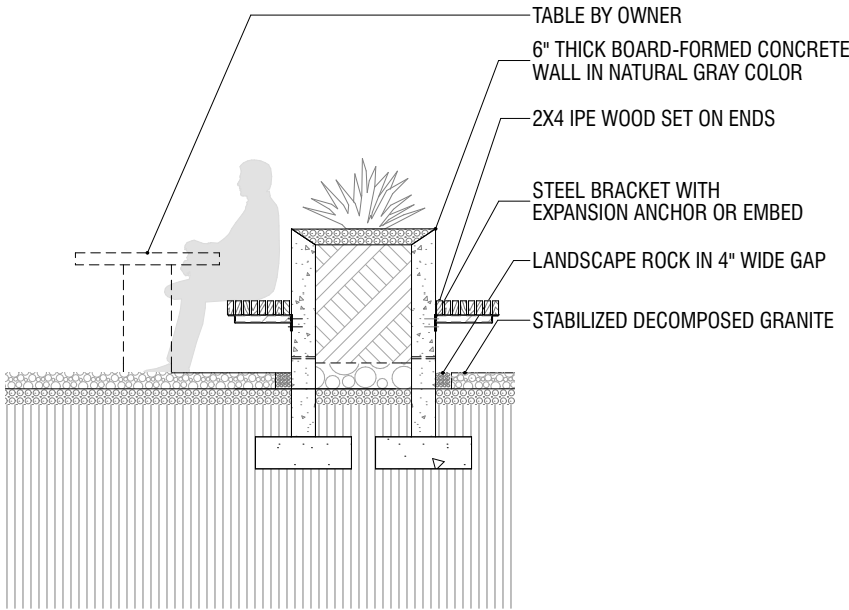
ARCHITECTURAL SITE PLAN

DR1.1

KEYED NOTES (X)

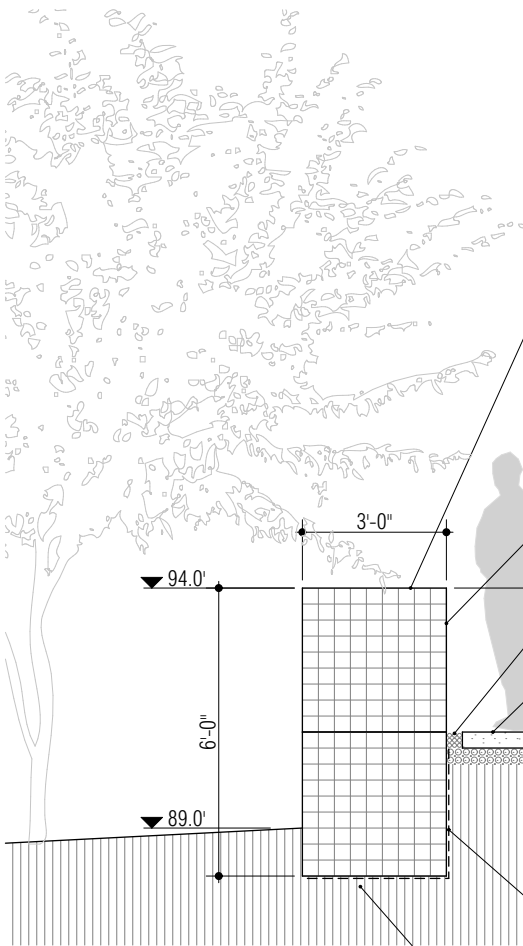
1. DEDICATED FIRE RISER ROOM. SEE FLOOR PLAN
2. LINE OF ROOF OVERHANG
3. NEW SES IN ELECTRICAL ROOM. SEE FLOOR PLAN.
4. MECHANICAL EQUIPMENT IN ENCLOSED YARD.
5. RETENTION ZONE
6. ASPHALT PAVING
7. EXPOSED AGGREGATE CONCRETE PAVING
8. LIGHTLY SANDBLASTED CONCRETE HARDSCAPE
9. EXISTING SIDEWALK
10. EXISTING CURB AND GUTTER
11. SHARED ACCESS POINT [EASEMENT] WITH AGRITOPA EPICENTER
12. PEDESTRIAN CONNECTION TO AGRITOPA EPICENTER
13. SCOOTER PARKING
14. BICYCLE PARKING
15. TRASH ENCLOSURE PER DETAIL GIL-180 WITH 8' HIGH WALLS AND STEEL GATES WITH CORRUGATED METAL CLADDING TO MATCH CORRUGATED METAL ON BUILDING.
16. NEW CURB, GUTTER, AND
17. PARALLEL PARKING SPACE [10'X22']
18. PERPENDICULAR PARKING SPACE [9'X19']
19. VAN-ACCESSIBLE PARKING SPACES [2]
20. ACCESSIBLE ROUTE
21. EMERGENCY VEHICLE ACCESS ROUTE
22. GREASE INTERCEPTOR
23. SEATING ALCOVE CONSISTING OF 36" HIGH BOARD-FORMED CONCRETE WALLS, STABILIZED DECOMPOSED GRANITE PAVEMENT, WOOD BENCH, AND LANDSCAPE IN STEEL PLANTERS. SEE DETAIL 3/DR1.2.
24. PATIO WITH INTEGRATED WOOD BENCH SEATING AND STEEL LANDSCAPE PLANTERS.
25. DECELERATION LANE PER TOG STANDARDS.
26. ELECTRICAL TRANSFORMER ON CONCRETE HOUSEKEEPING PAD. PAINT TO MATCH BUILDING.
27. FLUSH TRANSITION BETWEEN ASPHALT AND HARDSCAPE SIDEWALK [PART OF ACCESSIBLE ROUTE]
28. 6' HIGH GABION SCREEN WALL. TOP OF GABION WALL IS LEVEL AT 3'-0" ABOVE HIGHEST POINT OF PARKING LOT SURFACING. SEE DETAIL 2/DR1.2.
29. EXTERIOR LIGHT POLE. SEE ELECTRICAL CUTSHEETS.
30. FIRE HYDRANT
31. AGRITOPA EPICENTER DEVELOPMENT SHOWN FOR REFERENCE ONLY.





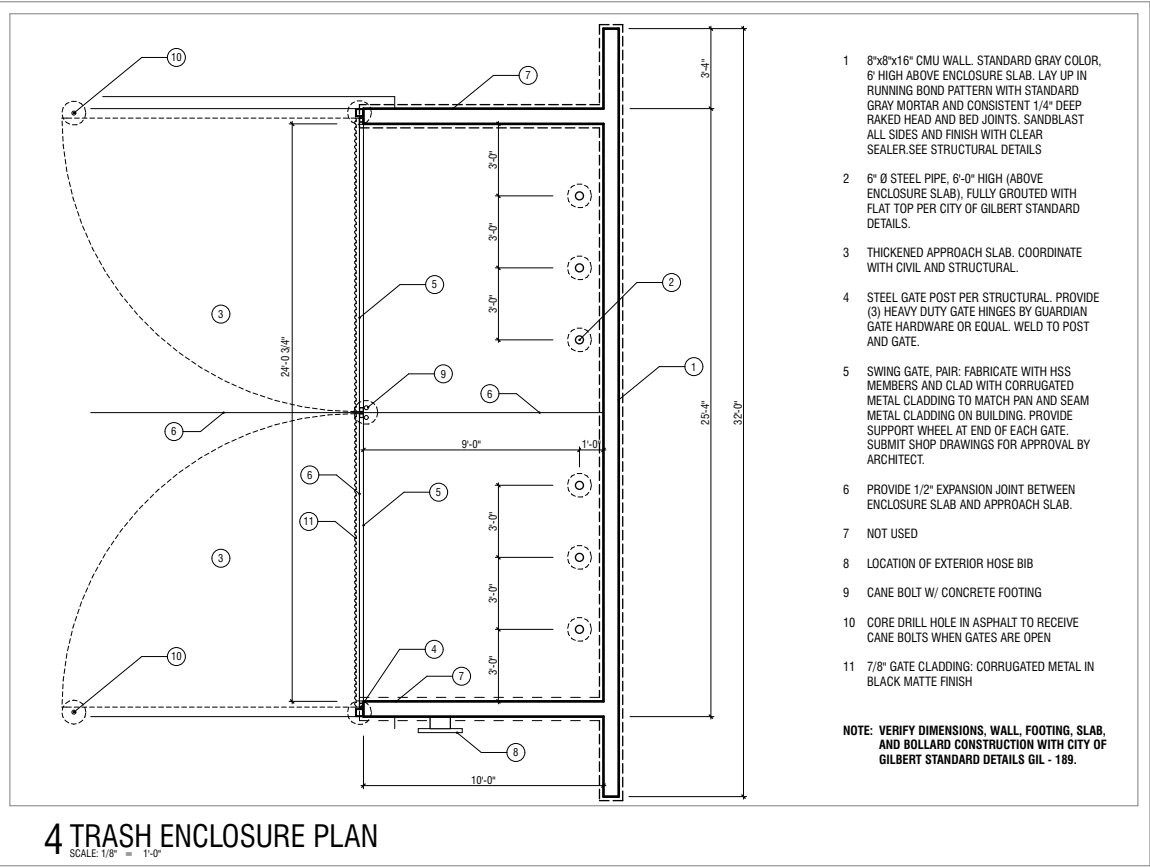
# 1 PLANTER SEATS AT NORTH PATIO

1/4" = 1'-0"



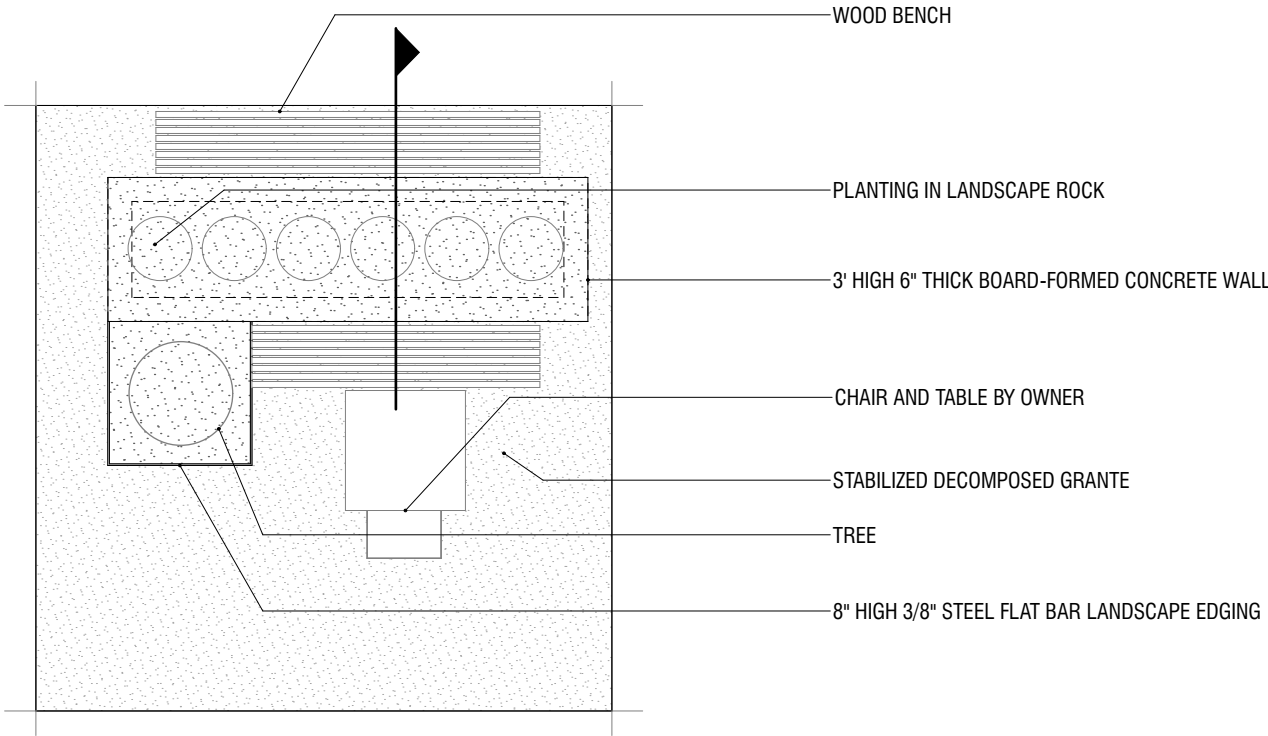
# 2 GABION SCREEN WALL

1/4" = 1'-0"



# 4 TRASH ENCLOSURE PLAN

SCALE: 1/8" = 1'-0"



# 3 LANDSCAPE SEATING POD DETAIL

1/4" = 1'-0"

AG

AIR GUITAR  
1566 SOUTH HIGLEY ROAD  
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1334 east van buren street  
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SITE DETAILS

DR1.2

project consultants

architecture:

DEBARTOLO ARCHITECTS  
1334 EAST VAN BUREN  
PHOENIX, AZ 85006  
PROJECT CONTACT: JACK  
PHONE: 602.264.6617  
EMAIL:jack3@debartoloarchitecths

landscape architecture:

DESIGN ETHIC, LLC  
7525 EAST 6TH AVENUE  
SCOTTSDALE, ARIZONA 85251  
PROJECT CONTACT: BRANDON PAUL  
PHONE: 480.225.7077  
EMAIL:bpaul@designethic.net

civil engineering:

TERRACAPE CONSULTING  
1102 EAST MISSOURI AVENUE  
SCOTTSDALE, ARIZONA 85014  
CONTACT: DAVE SOLTYSIK  
PHONE: 480.250.3460  
EMAIL:dsoltysik@terrascapiconsulting.com

project data

NET SITE AREA:	60,000 SF (1.37 AC)
EXISTING ZONING:	SC (AGRITOPIA C-2 PAD)
BUILDING AREA:	5,750 SF
ON SITE LANDSCAPE AREA:	26,455 S.F.
OFF SITE LANDSCAPE AREA:	3,450 S.F.
% OF TURF:	0%
% OF TOTAL LANDSCAPE COVERAGE:	49.8%

town of gilbert notes

1. A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS ARE ALSO REQUIRED.
2. BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
3. DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
4. NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
5. NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.
6. ALL TREES, SHRUBS AND GROUND COVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
7. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

town of gilbert maintenance notes

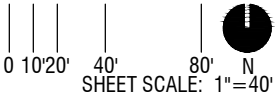
1. ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

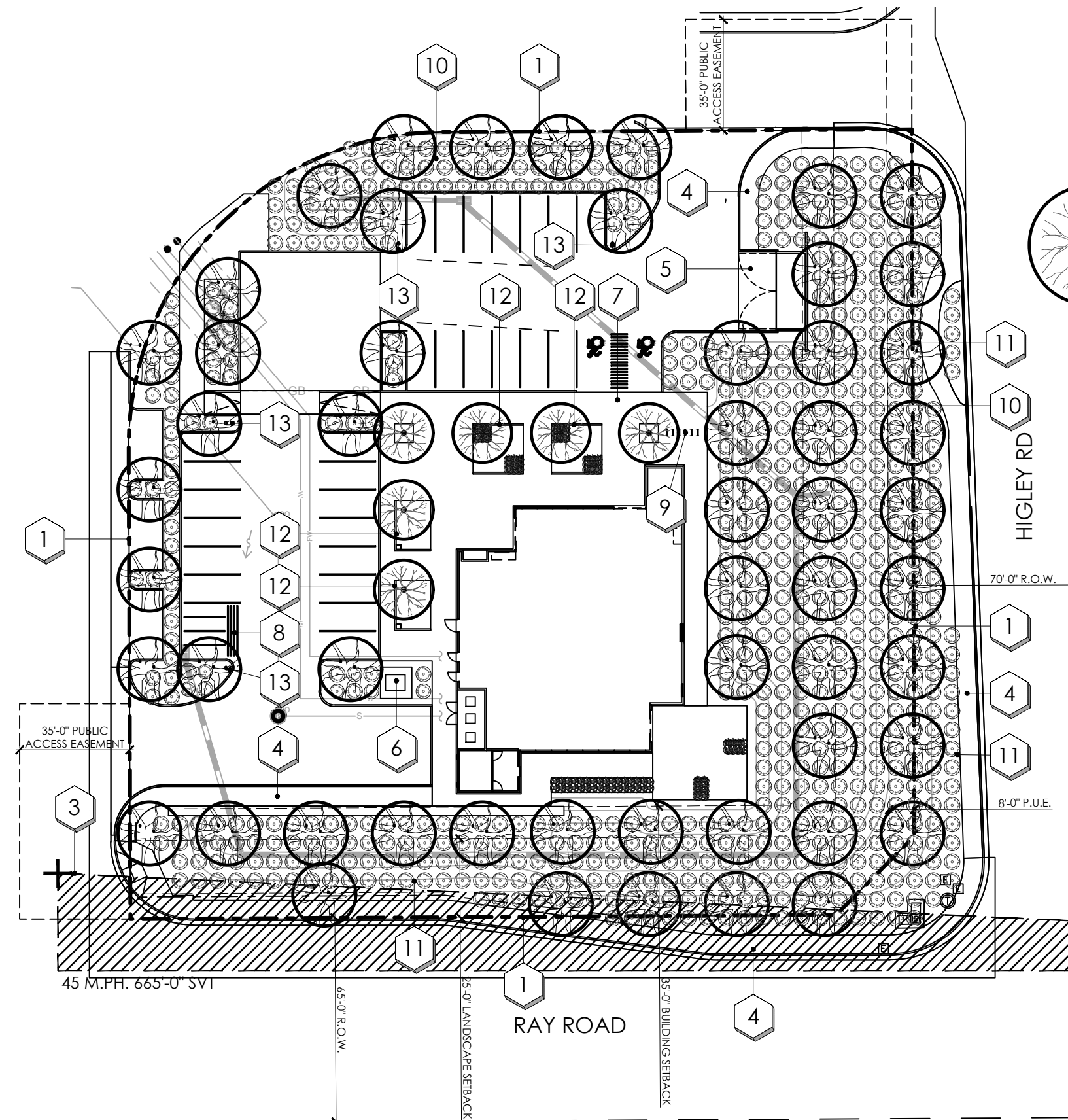


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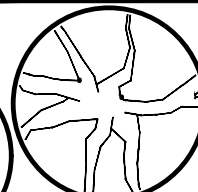







## reclaimed irrigation note

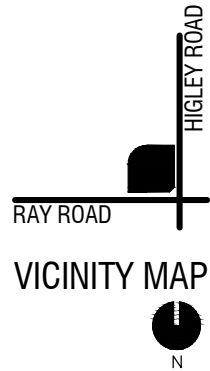
THIS DEVELOPMENT WILL UTILIZE THE AGRITOPIA RECLAIMED WATER SYSTEM, NOT TOWN OF GILBERT POTABLE WATER.

## plant legend

	botanical name common name	emitters	size	qty
trees				
	PISTACIA X. RED PUSH RED PUSH PISTACHE	(6 @ 2.0 GPH)	24" BOX	55
	TIPUANA TIPU TIPU TREE	(6 @ 2.0 GPH)	24" BOX	6
accents				
	ALOE BARBADENSIS ALOE VERA	(1 @ 0.5 GPH)	5 GAL.	83
	MUHLENBERGIA RIGENS DEER GRASS	(1 @ 1.0 GPH)	5 GAL.	748
inerts				
	DECOMPOSED GRANITE TABLE MESA BROWN		1"-MINUS	29,905 S.F.

## planting key notes

- 1 PROPERTY LINE / RIGHT OF WAY LINE
- 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS
- 3 SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES
- 4 6'-0" SIDEWALK.
- 5 TRASH ENCLOSURE MIN. 6'-0" HIGH SCREEN WALLS WITH GATES - PER TOG DETAIL NO. GIL-180 SINGLE REFUSE AREA
- 6 PROPOSED TRANSFORMER LOCATION. MAINTAIN 3' ACCESS & CLEARANCE AROUND ALL EDGES. ALLOW FOR 12' CLEAR OPERATIONAL AREA IMMEDIATELY IN FRONT OF TRANSFORMER.
- 7 ACCESSIBLE RAMP. SEE SITE PLAN.
- 8 SCOOTER PARKING
- 9 BICYCLE PARKING
- 10 STORMWATER RETENTION.
- 11 TOWN OF GILBERT LAMP POST LOCATION
- 12 RAISED WALL SEATING AREA. SEE SITE PLAN.
- 13 SITE LIGHTING. SEE ARCH. PLANS.



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LANDSCAPE PLAN

L1.2



DR20-84: Air Guitar  
Attachment 4 - Elevations

COLOR AND MATERIALS TABLE

ID	MATERIAL	MANF	COLOR/PRODUCT
1	STANDING SEAM - FIELD	VMZINC	ANTHRA-ZINC
2	STANDING SEAM - ACCENT	VMZINC	QUARTZ-ZINC
3A	ALUMINUM STOREFRONT	ARCADIA	CLEAR ANODIZED
3B	GLAZING	PPG	SOLARBAN 70XL
4	PERF CORRUGATED MTL	WESTERN STATES	GALVANIZED
5	STL STRUCTURE	BONDPLEX	SILVER PAINT
6	WOOD SLATS	-	IPE
7	STEEL	-	MILL FINISH
8	HOLLOW METAL DOORS	-	MATTE BLACK
9	PERFORATED METAL	VMZINC	ANTHRA-ZINC
10	CONCRETE	-	GRAY

MANUFACTURERS AND PRODUCTS ARE BASIS-OF-DESIGN SPECIFICATIONS  
FINAL SELECTION WILL BE MADE DURING THE BIDDING PHASE OF THE  
PROJECT.

GENERAL NOTES

- A. HIGH ROOF DRAINS ONTO LOW ROOFS OR THROUGH PERFORATED METAL SOFFIT. DRAINAGE FROM LOW ROOF CONSISTS OF CONCEALED PRIMARY AND SECONDARY ROOF DRAINS. PRIMARY DRAINS CONNECT TO THE STORM DRAIN SYSTEM AND DISCHARGE INTO RETENTION AREAS. OVERFLOW ROOF DRAINS ARE INTERIOR AND DAYLIGHT WITH SCUPPERS IN EXTERIOR WALLS JUST ABOVE GRADE.
- B. NO EQUIPMENT SHALL BE LOCATED ON EITHER HIGH ROOF OR LOW ROOFS. ALL EQUIPMENT IS INTERIOR OR WITHIN EXTERIOR EQUIPMENT YARD SCREENED FROM VIEW.

KEYED NOTES (X)

1. STANDING SEAM METAL CLADDING, FIELD COLOR.
2. STANDING SEAM METAL CLADDING, ACCENT COLOR.
3. ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING AND STRUCTURAL SILICONE JOINTS. CLEAR ANODIZED FINISH.
4. PERFORATED CORRUGATED METAL CLADDING IN GALVANIZED FINISH ATTACHED TO UNDERSIDE OF STRUCTURE
5. EXPOSED STEEL STRUCTURE, SILVER PAINTED FINISH
6. WOOD SLAT BENCH
7. INSULATED GLAZING IN STEEL FLAT BAR WINDOW FRAME. STEEL TO HAVE CLEAR SEALED MILL FINISH.
8. HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STANDING SEAM CLADDING.
9. MECHANICAL YARD GATES AND SCREENING: PERFORATED ZINC CLADDING ON STEEL FRAME. FIELD COLOR.
10. EXPOSED CONCRETE STEM WALL WITH NATURAL GRAY AS-CAST FINISH.
11. BOARD-FORMED CAST-IN-PLACE CONCRETE SITE WALL. NATURAL GRAY COLOR.
12. AUTOMATIC SLIDING ENTRY DOORS
13. SHEET STEEL CLADDING WITH GALVANIZED FINISH
14. EXTERIOR LIGHT FIXTURES MOUNTED TO HIGH ROOF.
15. LOCATION OF BUILDING-MOUNTED SIGNAGE
16. STEEL PLANTER. CLEAR SEALED MILL FINISH.

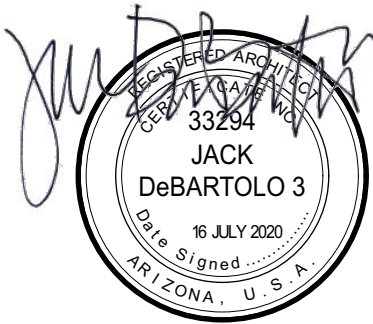
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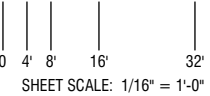
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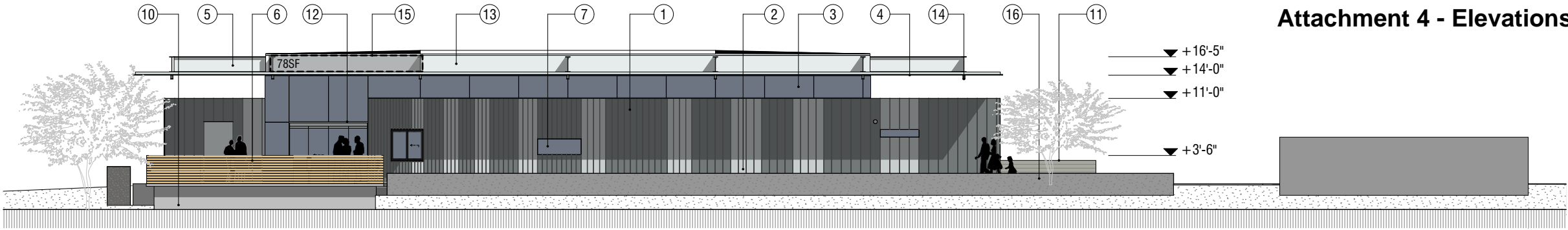


EXPIRES 31 MAR 2023



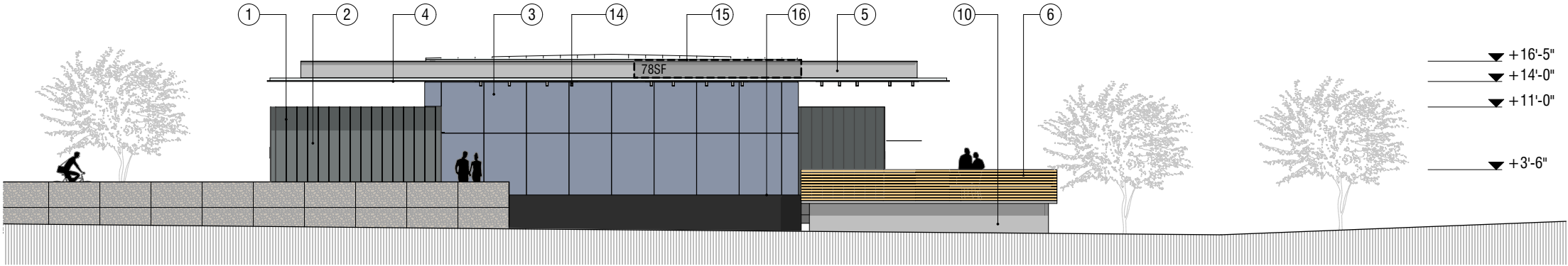
PRELIMINARY ELEVATIONS

DR1.4



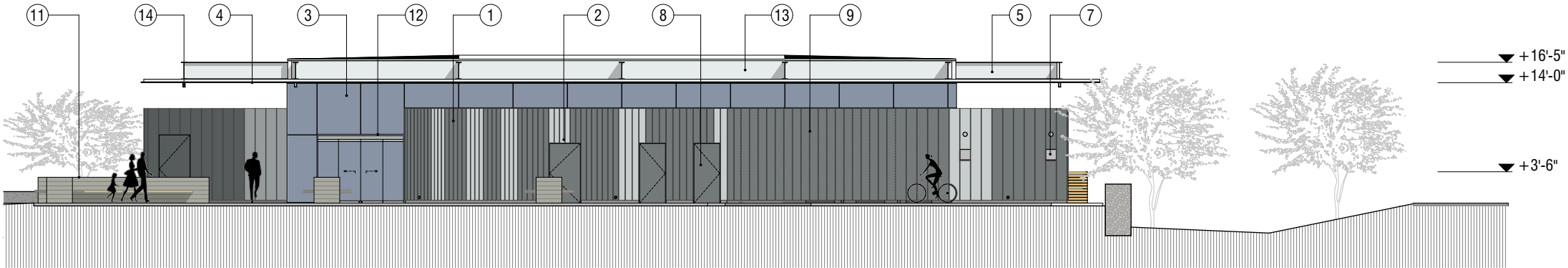
1 EAST ELEVATION

1/16" = 1'-0"



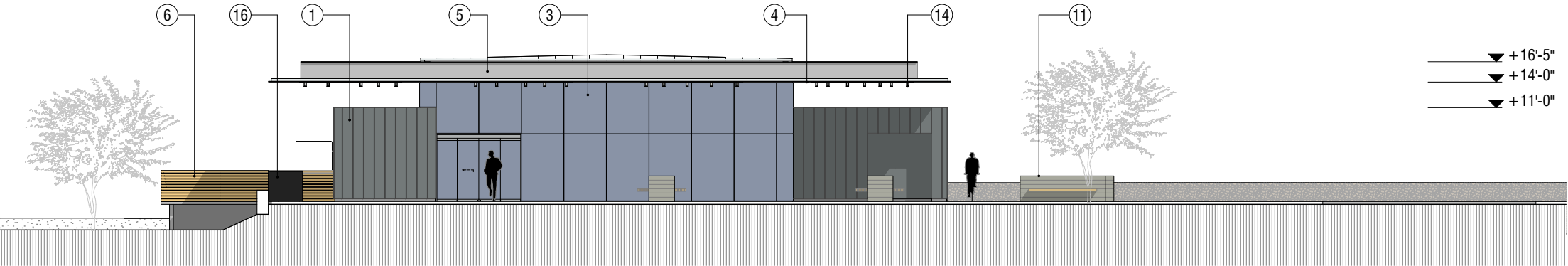
2 SOUTH ELEVATION

1/16" = 1'-0"



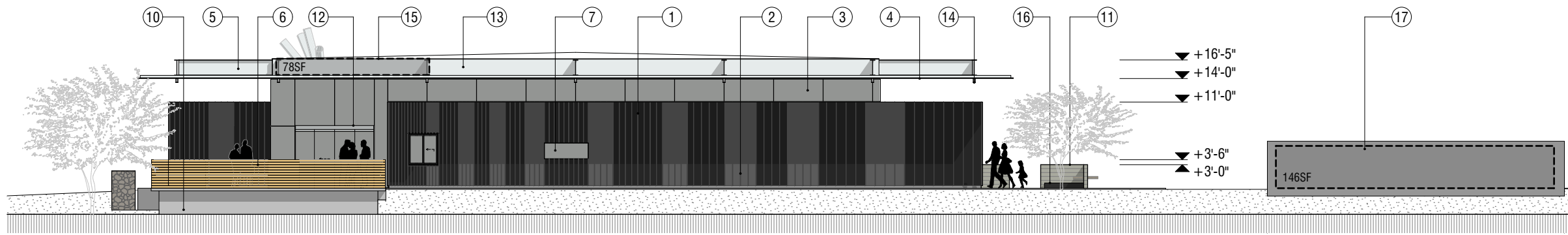
3 WEST ELEVATION

1/16" = 1'-0"



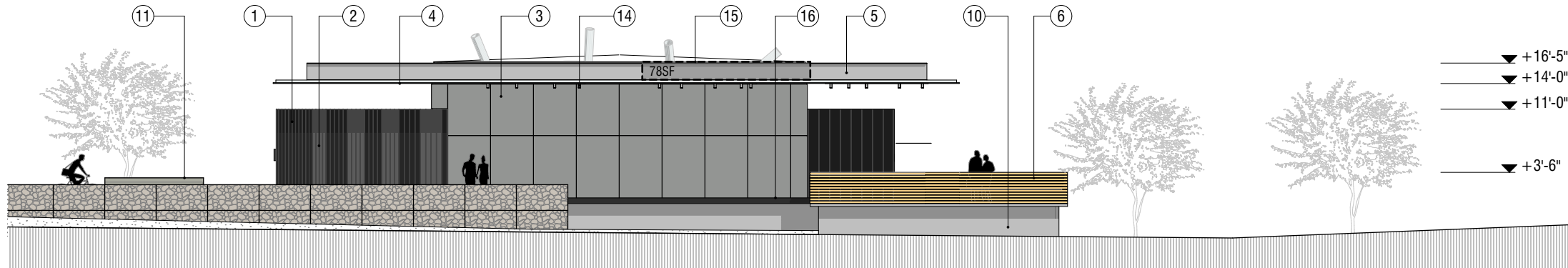
4 NORTH ELEVATION

1/16" = 1'-0"



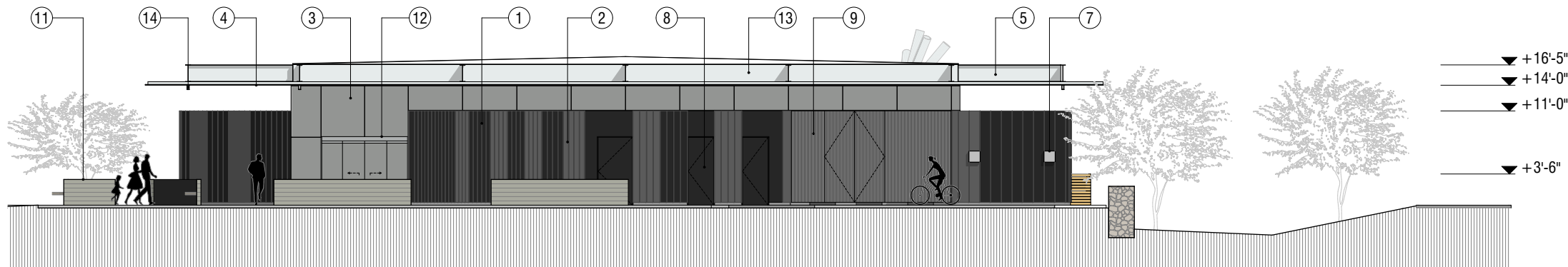
# 1 EAST ELEVATION

1/16" = 1'-0"



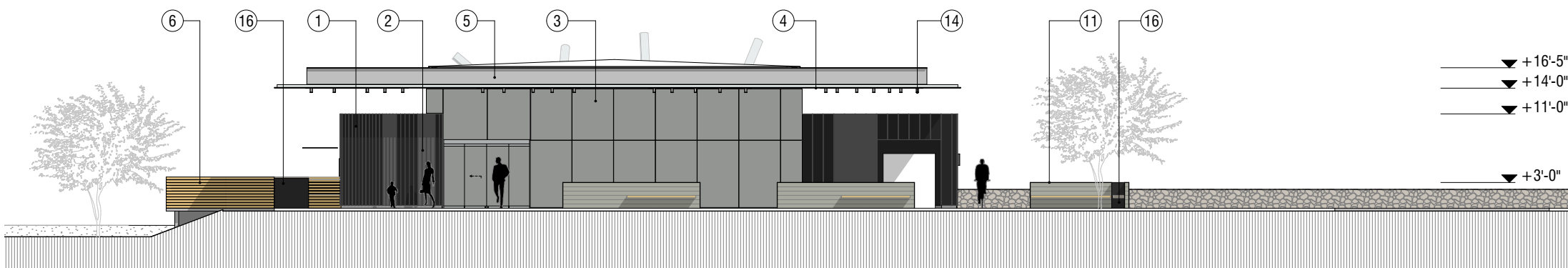
# 2 SOUTH ELEVATION

1/16" = 1'-0"



# 3 WEST ELEVATION

1/16" = 1'-0"



# 4 NORTH ELEVATION

1/16" = 1'-0"

## COLOR AND MATERIALS TABLE

ID	MATERIAL	MANF	COLOR/PRODUCT
1	STANDING SEAM - FIELD	VMZINC	ANTHRA-ZINC
2	STANDING SEAM - ACCENT	VMZINC	QUARTZ-ZINC
3A	ALUMINUM STOREFRONT	ARCADIA	CLEAR ANODIZED
3B	GLAZING	PPG	SOLARBAN 70XL
4	PERF CORRUGATED MTL	WESTERN STATES	GALVANIZED
5	STL STRUCTURE	BONDPLEX	SILVER PAINT
6	WOOD SLATS	-	IPE
7	STEEL	-	MILL FINISH
8	HOLLOW METAL DOORS	-	MATTE BLACK
9	PERFORATED METAL	VMZINC	ANTHRA-ZINC
10	CONCRETE	-	GRAY

MANUFACTURERS AND PRODUCTS ARE BASIS-OF-DESIGN SPECIFICATIONS  
FINAL SELECTION WILL BE MADE DURING THE BIDDING PHASE OF THE  
PROJECT.

## GENERAL NOTES

- HIGH ROOF DRAINS ONTO LOW ROOFS OR THROUGH PERFORATED METAL SOFFIT. DRAINAGE FROM LOW ROOF CONSISTS OF CONCEALED PRIMARY AND SECONDARY ROOF DRAINS. PRIMARY DRAINS CONNECT TO THE STORM DRAIN SYSTEM AND DISCHARGE INTO RETENTION AREAS. OVERFLOW ROOF DRAINS ARE INTERIOR AND DAYLIGHT WITH SCUPPERS IN EXTERIOR WALLS JUST ABOVE GRADE.
- NO EQUIPMENT SHALL BE LOCATED ON EITHER HIGH ROOF OR LOW ROOFS. ALL EQUIPMENT IS INTERIOR OR WITHIN EXTERIOR EQUIPMENT YARD SCREENED FROM VIEW.

## KEYED NOTES (X)

- STANDING SEAM METAL CLADDING, FIELD COLOR.
- STANDING SEAM METAL CLADDING, ACCENT COLOR.
- ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING AND STRUCTURAL SILICONE JOINTS. CLEAR ANODIZED FINISH.
- PERFORATED CORRUGATED METAL CLADDING IN GALVANIZED FINISH ATTACHED TO UNDERSIDE OF STRUCTURE
- EXPOSED STEEL STRUCTURE, SILVER PAINTED FINISH
- WOOD SLAT BENCH
- INSULATED GLAZING IN STEEL FLAT BAR WINDOW FRAME. STEEL TO HAVE CLEAR SEALED MILL FINISH.
- HOLLOW METAL DOOR AND FRAME, PAINTED TO MATCH STANDING SEAM CLADDING.
- MECHANICAL YARD GATES AND SCREENING: PERFORATED ZINC CLADDING ON STEEL FRAME. FIELD COLOR.
- EXPOSED CONCRETE STEM WALL WITH NATURAL GRAY AS-CAST FINISH.
- BOARD-FORMED CAST-IN-PLACE CONCRETE SITE WALL. NATURAL GRAY COLOR.
- AUTOMATIC SLIDING ENTRY DOORS
- SHEET STEEL CLADDING WITH GALVANIZED FINISH
- EXTERIOR LIGHT FIXTURES MOUNTED TO HIGH ROOF.
- LOCATION OF BUILDING-MOUNTED SIGNAGE
- STEEL PLANTER. CLEAR SEALED MILL FINISH.
- LOCATION OF PAINTED WALL SIGN ON BACK OF PAINTED REFUGE ENCLOSURE.

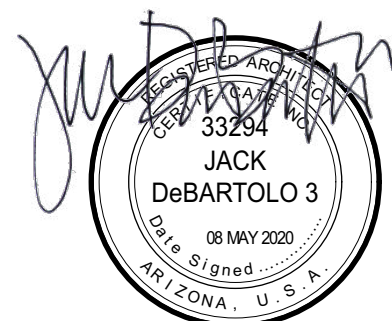
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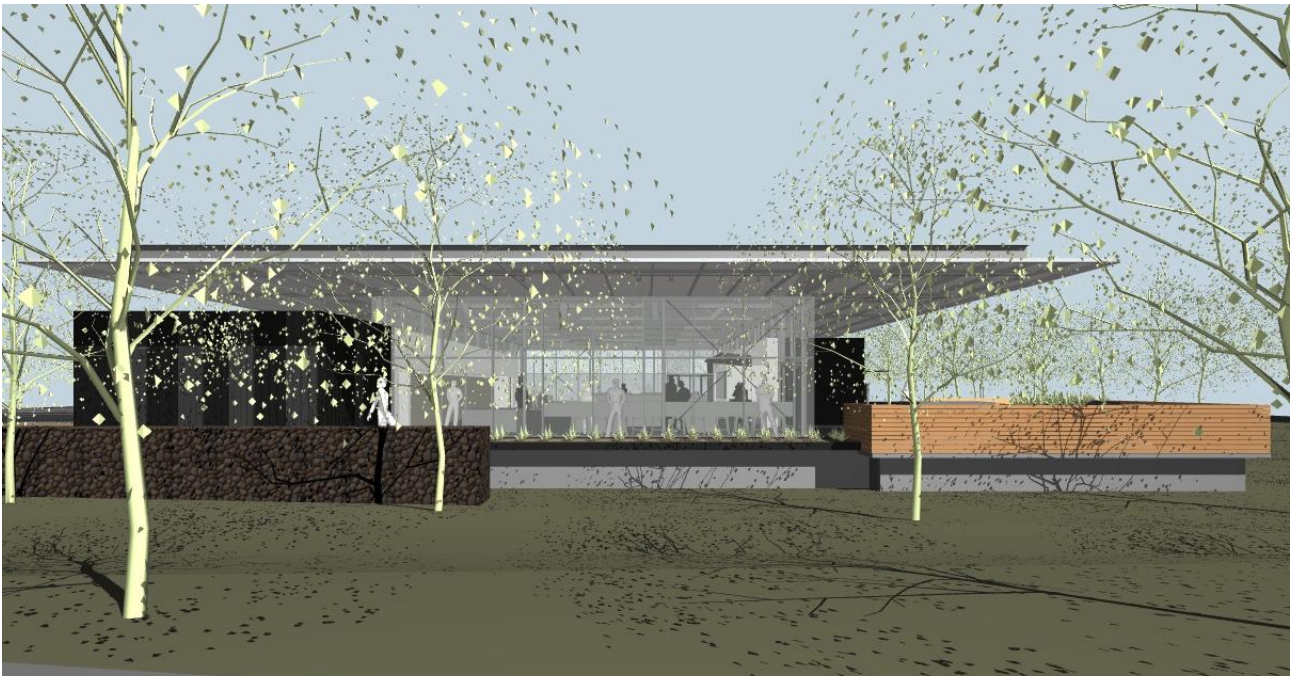
EXPIRES 31 MAR 2023

0 4' 8' 16' 32'  
SHEET SCALE: 1/16" = 1'-0"

PRELIMINARY ELEVATIONS

# DR1.4





**1** VIEW FROM RAY ROAD

NOT TO SCALE



**2** VIEW FROM HIGLEY ROAD

NOT TO SCALE



**3** NORTH ELEVATION

NOT TO SCALE



**4** NORTH ENTRY

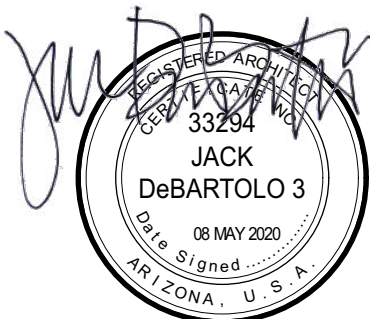
NOT TO SCALE

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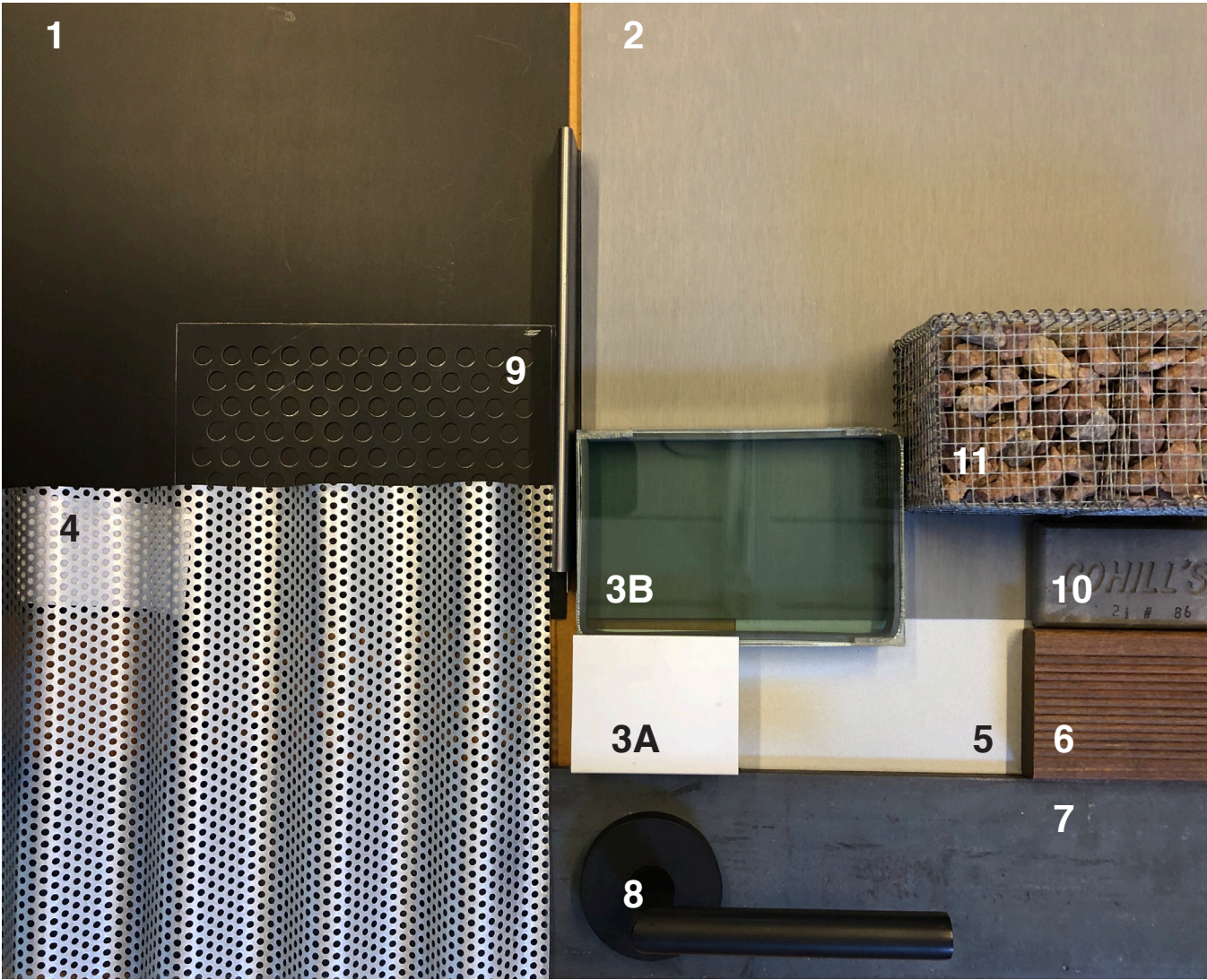


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CONCEPTUAL PERSPECTIVES

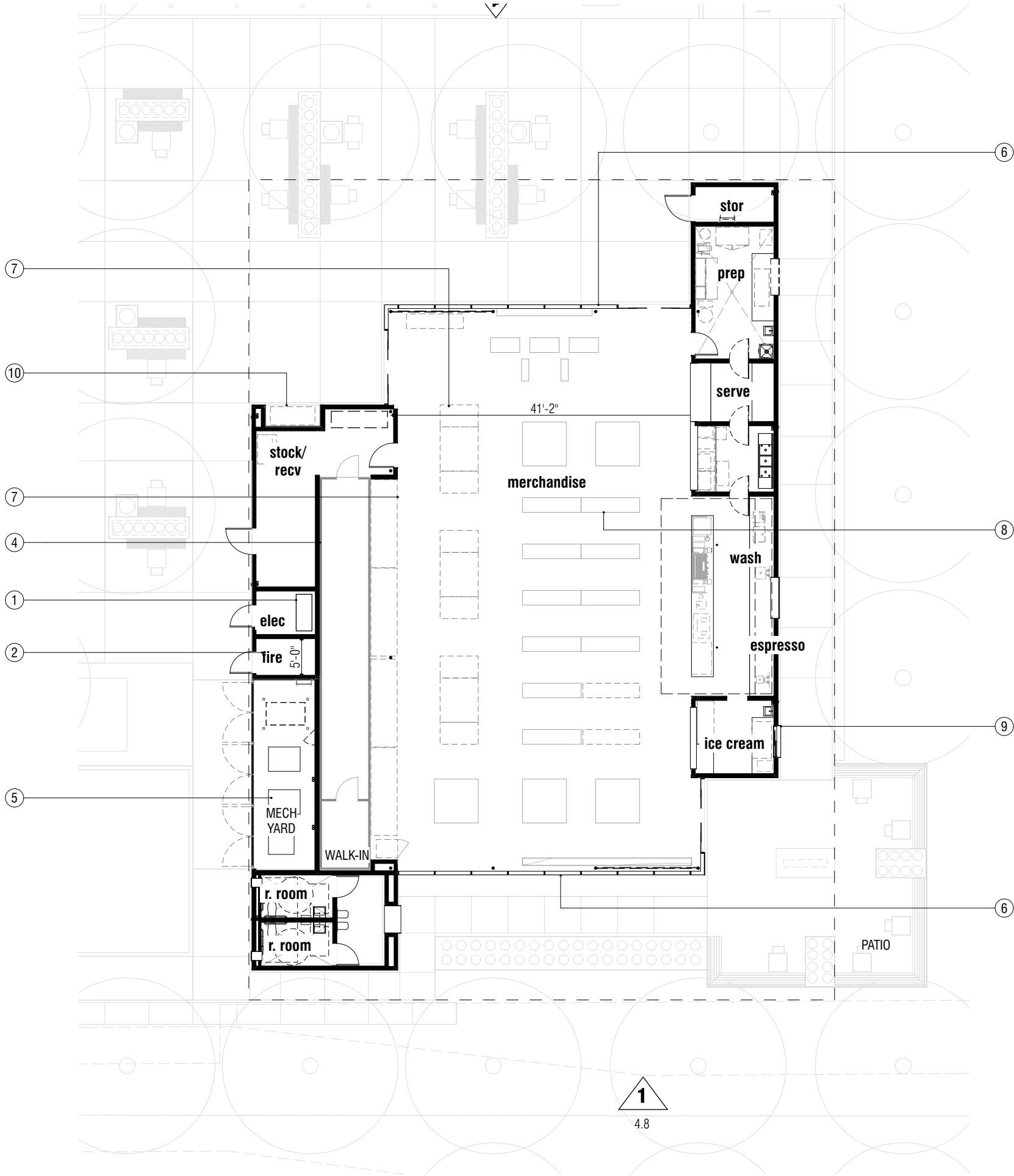
**DR1.5**





ID	MATERIAL	MANUFACTURER	COLOR/PRODUCT
1	STANDING SEAM METAL CLADDING - FIELD	VMZINC	ANTHRA-ZINC
2	STANDING SEAM METAL CLADDING - ACCENT	VMZINC	QUARTZ-ZINC
3A	ALUMINUM STOREFRONT FRAMING	ARCADIA	CLEAR ANODIZED
3B	CLEAR GLAZING	PPG	SOLARBAN 70XL
4	PERFORATED CORRUGATED METAL	WESTERN STATES	GALVANIZED
5	STEEL STRUCTURE	BONDPLEX	SILVER PAINT
6	WOOD SLATS	-	IPE
7	STEEL PLANTERS	-	MILL FINISH
8	HOLLOW METAL DOORS, FRAMES, HARDWARE	-	MATTE BLACK
9	PERFORATED METAL CLADDING	VMZINC	ANTHRA-ZINC
10	CONCRETE	-	NATURAL GRAY
11	GABION BASKET	HILFIKER	PLAIN STEEL

MANUFACTURERS AND PRODUCTS ARE BASIS-OF-DESIGN SPECIFICATIONS. FINAL SELECTION WILL BE MADE DURING THE BIDDING PHASE OF THE PROJECT.



GENERAL NOTES

BUILDING AREAS 8,960 SF UNDER ROOF  
5,300 SF CONDITIONED

KEYED NOTES (X)

1. LOCATION OF SES IN ENCLOSED ROOM. NO VISIBILITY FROM EXTERIOR.
2. DEDICATED FIRE RISER ROOM WITH FACP.
3. ROOF ACCESS LADDER AND HATCH
4. WALK-N COOLER AND FREEZER
5. MECHANICAL YARD HOUSING ALL EQUIPMENT. NO VISIBILITY FROM EXTERIOR.
6. FULL-HEIGHT GLASS STOREFRONT SYSTEM
7. OPEN-FACE COOLERS
8. MERCHANDISE DISPLAY
9. ICE CREAM SERVICE WINDOW
10. BAGGED ICE BIN

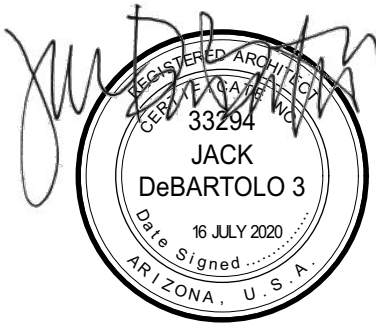
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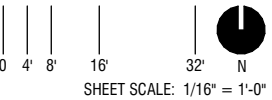
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FLOOR PLAN

DR1.3

LIGHTING FIXTURE SCHEDULE

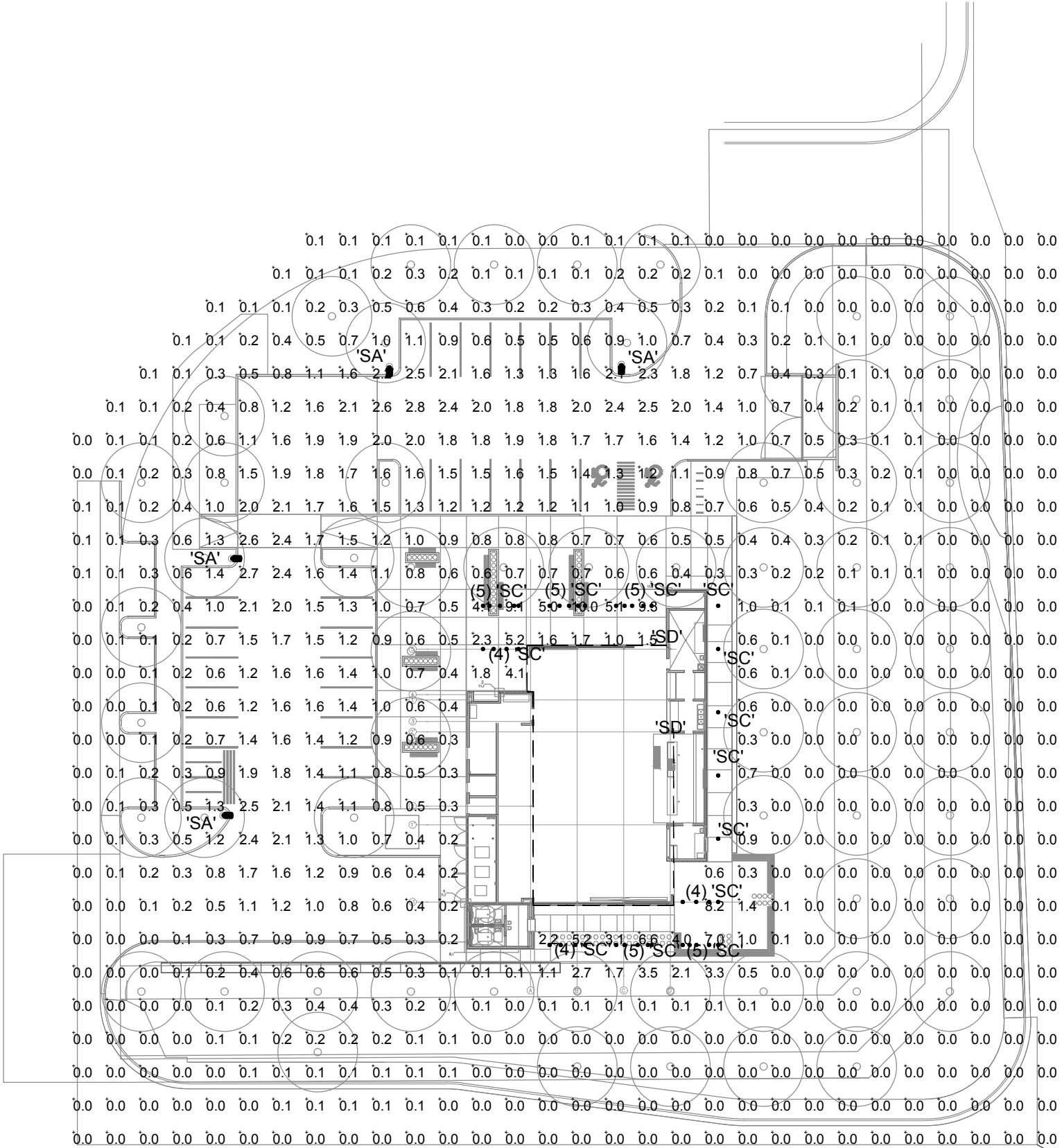
TAG	MTG.	MANUFACTURER	CATALOG No.	VOLT	LAMPS		REMARKS
					No.	TYPE	
'SA'	POLE	LITHONIA	RSX2 LED P1 30K R3 MVOLT SPA EGS DDBXD	120	-	72W. LED	DARK BRONZE TYPE III FIXTURE ON SQUARE POLE AT 25' AFG.
'SB'	WALL	BEGA	22 794 +K3	24	-	2.7W. LED	STEP LIGHT. COORDINATE COLOR AND MOUNTING HEIGHT WITH ARCH.
'SB1'	WALL	BEGA	19591	120/24	-	-	50W REMOTE DRIVER FOR 'SB' FIXTURES. COORDINATE LOCATION.
'SC'	SURF	HKLIGHTING	ZX16-CM-GU10-SOI-B GSS / SORAA SM16GA-07-60D-930-03	120	-	7.5W. LED	COORDINATE COLOR AND MOUNTING WITH ARCHITECT. MOUNT AT 12' AFG.
'SD'	SURF	KELVIX	PH30K-WR-24V / ULV192	120/24	-	3.2W/FT LED	TAPE LIGHT AT TOP OF SOFFIT.

LIGHTING FIXTURE SCHEDULE GENERAL NOTES:

1. ALL BATTERY BACKED FLUORESCENT / L.E.D. BALLASTS TO BE RATED FOR MINIMUM 1100 LUMENS, UNLESS NOTED OTHERWISE.  
2. ALL FLUORESCENT, PL, AND L.E.D. LAMPS TO BE 35K, MINIMUM CRI OF 82, UNLESS NOTED OTHERWISE.

LIGHTING FIXTURE SCHEDULE KEYED NOTES:

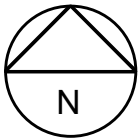
1. PROVIDE ALL COMPONENTS FOR A COMPLETE SYSTEM.  
2. MOUNT FIXTURE ON TOP OF NOTCH, FACING DOWN, AS FAR FROM THE WALL AS POSSIBLE. DO NOT CENTER IN NOTCH.  
3. PROVIDE BLACK, SINGLE CIRCUIT, SURFACE MOUNTED TRACK. PROVIDE (60) FLOOD, (20) NARROW FLOOD, (20) SPOT, AND (20) WIDE FLOOD TRACK HEADS ((120) TOTAL TRACK HEADS). COORDINATE WITH ARCHITECT / OWNER.  
4. MOUNT FIXTURE IN 45° EXTRUSION ON UPPER CORNER OF "COVE". COORDINATE MOUNTING WITH ARCHITECT.  
5. COORDINATE MOUNTING, LOCATION, AND EXTRUSION WITH ARCHITECT.



PHOTOMETRIC SITE PLAN

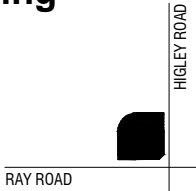
SCALE:

1" = 40'-0"



PHOTOMETRIC SITE PLAN

E1.0



VICINITY MAP



woodwardengineering

203 s. smith road, suite 101  
tempe, arizona 85281  
tel 480.894.4057  
doug@woodward-engineering.com  
WE #20035

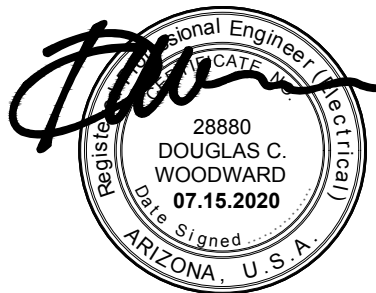
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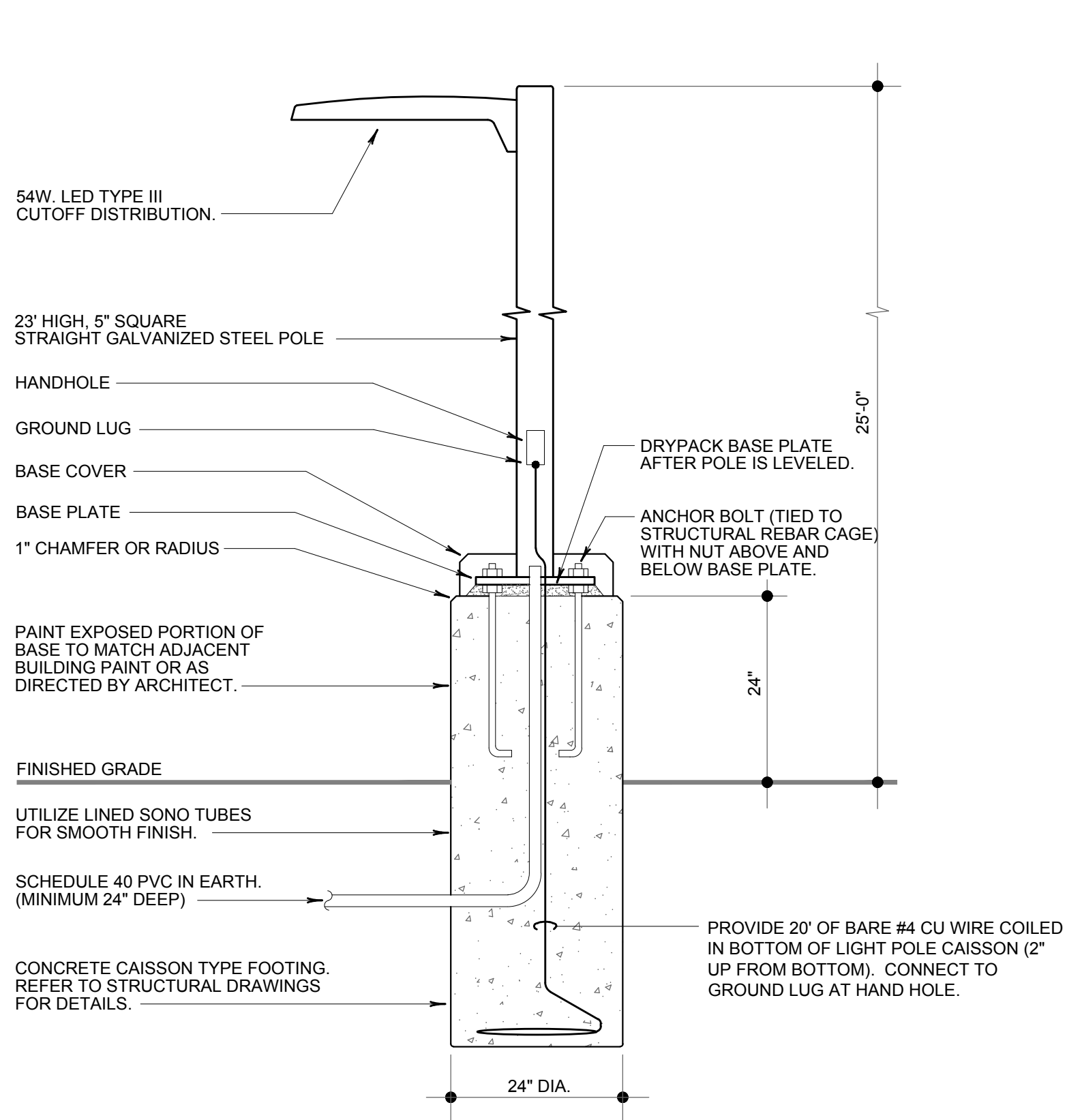
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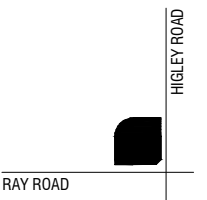
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## FIXTURE 'SA' MOUNTING DETAIL

NO SCALE



### VICINITY MAP



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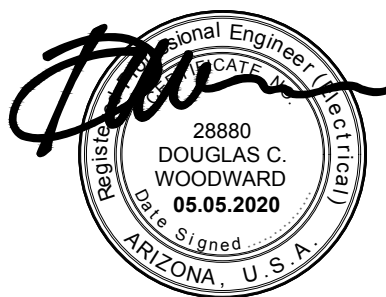
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POLE DETAIL

# E2.0





RSX2 LED  
Area Luminaire



Catalog Number	
Notes	
Type	'SA'

Hit the Tab key or mouse over the page to see all interactive elements.

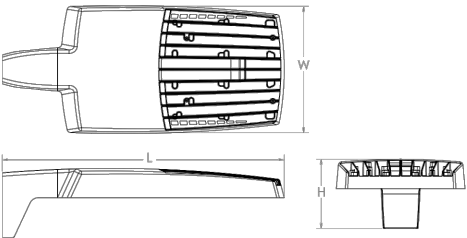
Introduction

The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

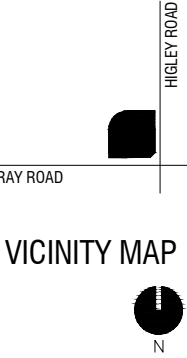
The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This “no-drill” solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Specifications

EPA (ft²@0°):	0.69 ft² (0.06 m² )
Length:	29.3" (74.4 cm) (SPA mount)
Width:	13.4" (34.0 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.3 cm) Arm
Weight (max):	39.0 lbs (17.7 kg)



Ordering Information				EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD		
RSX2 LED						
Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting	
RSX2 LED	P1	30K 3000K	R2	MVOLT (120V-277V) <sup>2</sup>	SPA	Square pole mounting (3.0" min. SQ pole for 1 at 90°, 3.5" min. SQ pole for 2, 3, 4 at 90°)
	P2	40K 4000K	R3	HVOLT (347V-480V) <sup>3</sup>	RPA	Round pole mounting (3.2" min. dia. RND pole for 2, 3, 4 at 90°, 3.0" min. dia. RND pole for 1 at 90°, 2 at 180°, 3 at 120°)
	P3	50K 5000K	R3S	(use specific voltage for options as noted)	MA	Mast arm adaptor (fits 2-3/8" OD horizontal tenon)
	P4		R4	120 <sup>3</sup> 277 <sup>4</sup>	IS	Adjustable slipfitter (fits 2-3/8" OD tenon) <sup>5</sup>
	P5		R4S	208 <sup>3</sup> 347 <sup>4</sup>	WBA	Wall bracket <sup>1</sup>
	P6		R5	240 <sup>3</sup> 480 <sup>4</sup>	WBASC	Wall bracket with surface conduit box
			R5S		AASP	Adjustable tilt arm square pole mounting <sup>5</sup>
			AFR		AARP	Adjustable tilt arm round pole mounting <sup>5</sup>
			AFRR90		AAWB	Adjustable tilt arm with wall bracket <sup>5</sup>
			AFRL90		AAWSC	Adjustable tilt arm wall bracket and surface conduit box <sup>5</sup>
Options					Finish	
<b>Shipped Installed</b>					DDBXD	Dark Bronze
HS	House-side shield <sup>6</sup>				DBLXD	Black
PE	Photocontrol, button style <sup>7,8</sup>				DNAXD	Natural Aluminum
PEX	Photocontrol external threaded, adjustable <sup>8,9</sup>				DWHXD	White
PER7	Seven-wire twist-lock receptacle only (no controls) <sup>8,10,11,12</sup>				DDBTXD	Textured Dark Bronze
CE34	Conduit entry 3/4" NPT (Qty 2)				DBLTXD	Textured Black
SF	Single fuse (120, 277, 347) <sup>4</sup>				DNATXD	Textured Natural Aluminum
DF	Double fuse (208, 240, 480) <sup>4</sup>				DWHGXD	Textured White
SPD20KV	20KV Surge pack (10KV standard)					
FAO	Field adjustable output <sup>8,12</sup>					
DMG	0-10V dimming extend out back of housing for external control (control ordered separate) <sup>8,12</sup>					
DS	Dual switching <sup>8,13</sup>					
<b>Shipped Installed</b>						
<b>*Standalone and Networked Sensors/Controls (factory default settings, see table page 9)</b>						
NLTAIR2	nLight AIR generation 2 <sup>12,14,15</sup>					
PIRHN	Networked, Bi-Level motion/ambient sensor (for use with NLTAIR2) <sup>12,15,16</sup>					
<b>*Note: PIRHN with nLight Air can be used as a standalone dimming sensor with out-of-box settings or as a wireless networked solution. See factory default settings table. Sensor coverage pattern is affected when luminaire is tilted.</b>						
<b>Shipped Separately (requires some field assembly)</b>						
EGS	External glare shield <sup>5</sup>					
EGFV	External glare full visor (360° around light aperture) <sup>6</sup>					
BS	Bird spikes <sup>17</sup>					



VICINITY MAP

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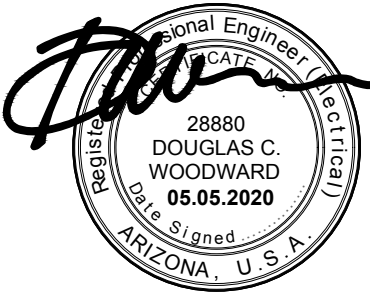
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AIR GUITAR is a brand new market concept patterned after a high-end neighborhood market. Offering a unique assortment of high-quality food and beverage items, AIR GUITAR is focused on excellent and efficient service while also inviting patrons to stop and enjoy the fun atmosphere and architecture of discovery.

Situated at the hard corner of Ray Road and Higley Road, AIR GUITAR is the capstone of the Agritopia PAD. The site is envisioned as a building in a park in which the pavilion-like structure is surrounded by a landscape of trees and grasses. This landscape experience allows AIR GUITAR to be visually connected to the activity of the street while also providing an environment unlike any other neighborhood market. Shaded outdoor patio and seating areas invite patrons to enjoy the experience of a building within the landscape.

To achieve this goal, AIR GUITAR dedicates over 50% of the site to landscape, the majority of which fronts onto Higley and Ray Roads. This large landscape area significantly exceeds the setback and minimum landscape area requirements. Much of this area will be used to retain water both from the site and from Higley Road. The proposed retention area acts as a bio-swale that recharges the groundwater rather than store the rainwater unused in large underground tanks.

The expressive building form of AIR GUITAR is in keeping with and inspired by the original vision for the corner as described in the Agritopia PAD. This document allows for “wide discretion” with regards to the design of outlier buildings and cites precedents such as Merle’s Corona Del Mar and Tiny Naylor’s for guidance in design. These midcentury architectural icons were a response to the new automobile-centric era of the 1950’s whose extensive roofs allowed for expanded outdoor space, and their design expressed the cultural optimism of post-war American and the technology of the early Space Age.

Similarly, the design of AIR GUITAR responds to contemporary culture and expresses the technology of the twenty-first century. Desiring to be clean, efficient, and fun, the building is conceived as a day-lit pavilion with large expanses of glass. Like the examples above, the building blurs the line between indoor and outdoor space with an extensive roof that overhangs the building on all sides and provides ample shade on both the horizontal ground plane and the vertical glazing.

Likewise, the material selection at AIR GUITAR reflects both the design inspirations for the corner use and existing developments within the commercial district of Agritopia. Durable materials were intentionally selected to create an enduring building for this important corner of the town. The proposed standing seam metal cladding is a fitting interpretation of the metal cladding used on the architectural precedents cited in the Agritopia PAD. Corrugated metal cladding, used at AIR GUITAR as the plane of the high pavilion roof, has precedent in Agritopia at the nearby Barnone development where it is used as the singular building material. By using metal cladding as the primary building material, AIR GUITAR not only responds to both past inspiration and present development but also ensures a long lifespan for the building.

No fuel dispensing will occur at AIR GUITAR, and no tobacco products will be sold. On-site food and beverage service will consist of a coffee shop, ice cream station, pizza station, and pre-packaged foods. The only onsite cooking equipment other than a microwave will be a self-contained, countertop pizza oven.